

WHATCOM COUNTY
Planning & Development Services
5280 Northwest Drive
Bellingham, WA 98226-9097
360-676-6907, TTY 800-833-6384
360-738-2525 Fax



J.E. "Sam" Ryan
Director

PERMIT APPLICATION PACKET
RESIDENTIAL STRUCTURES
&
DETACHED ACCESSORY STRUCTURES
(MANUFACTURED HOMES REQUIRE A DIFFERENT PACKET)

THE ENERGY CODE COMPLIANCE FORM, WATER AVAILABILITY FORM AND FILL & GRADE FORM ARE NOT IN THIS PACKET. PLEASE REQUEST AS NECESSARY.

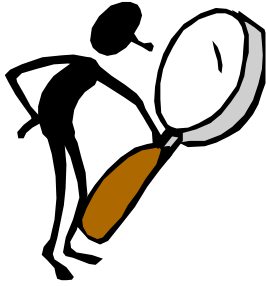
COMPLEX SITES MAY REQUIRE A PRE-APPLICATION MEETING.



Please ask for additional information regarding erosion control, impervious surface, and storm water requirements if you are building in the

Lake Whatcom
Lake Samish
Lake Padden
Birch Bay
Or
Drayton Harbor Watersheds

You must make an appointment to submit your building permit application.



IMPORTANT – PLEASE READ
PERMIT APPLICATION CHECKLIST
FOR RESIDENTIAL & ACCESSORY STRUCTURES
 (Not for Commercial Structures)

The following information must be complete when you come to your application appointment. If your information is not complete your permit application cannot be processed at the time of your appointment. Appointments are available on **Tuesdays and Thursdays** and can be scheduled by calling **360-676-6907**. Have your **tax parcel number (aka Geographic ID)** ready when you call for your appointment. This number may be obtained from your tax statement or from the Assessor's Office @ 360-676-6790. See additional information in this packet. A separate appointment is required for each structure.

ITEMS YOU MUST BRING WITH YOU TO YOUR APPLICATION APPOINTMENT:

	Single Family Residence	Remodel or Repair	Small Additions (No Bedrooms)	Additions greater than 50% of original sq. ft.; and/or add bedrooms	Detached Garage or Outbuilding
Completed Building Permit Application Form (included in packet)	X	X	X	X	X
2 Complete Sets of Building Plans	X	X	X	X	X
3 Copies of Site Plan -	X	X	X	X	X
Site plans must accurately reflect the installed or proposed septic system. If the site plan is inaccurate, your project may need to be revised with additional fees and/or fines.					
Engineering for Plans (if required)	X	X	X	X	X
WA State Energy Code Compliance Form (see pages 10 - 11)	X	X	X	X	X if heated
Public/Private Water Verification (see Counter Staff for form)	X			X	
Septic Permit & Design from Health Dept. or Sewer Verification*	X	X	X	X	X
Completed Fill & Grade and/or Clearing Application.	X		X	X	X
Copy of Most Current Deed	X	X	X	X	X
Current Contractors License Number OR Owner Contractor Statement of Understanding	X	X	X	X	X
Cash or Check for deposit fee (U.S. Funds). No credit cards accepted	X	X	X	X	X
Completed Revocable Encroachment Permit Application.	X	X	X	X	X

GENERAL NOTES AND INFORMATION ON REQUIREMENTS FOR PERMIT ISSUANCE:

- A. SITE ADDRESS:** If you do not have a County issued address you may obtain one through the Engineering Department prior to your building permit application, or we will route your permit to the Engineering Department to obtain an address during the review process.
- B. REVOCABLE ENCROACHMENT (Driveway Access):** ANY work in the County road rights-of-way requires a **Revocable Encroachment Permit** (Whatcom County Code – Chapter 12.16) from Whatcom County Public Works, Engineering Division, Suite C, 5280 Northwest Drive, Bellingham, WA 98226; telephone (360) 676-6730. To expedite your permit, please submit the attached Revocable Encroachment Permit Application to Engineering for review. We will determine whether a Revocable Encroachment Permit is required. Please be aware that failure to submit this form to Public Works, Engineering, may result in a delay to the permit process. **You will either need a Revocable Encroachment Permit or a Revocable Encroachment Waiver prior to applying for any building permit.**
- C. LAND DIVISION:** If your land has been divided since 1975 you may need a Deed History, instead of just a deed, to submit your application. Bring what you have to the Subdivision Counter, which is open from 8:30 am to 12:00 noon, Monday through Friday, and they will help you determine if what you have is adequate or if you need a Deed History from a Title Company. A legal lot is required for permit submittal.
- D. DEED:** A legal document which describes a piece of property and lists any and all owners, easements, or other restrictions.
- E. LEGAL LOT OF RECORD:** A lot which has been formally created according to Whatcom County subdivision rules and regulations, or a lot that pre-dates such regulations.
- F. PROPERTY BINDER:** If your property is comprised of two adjacent lots that must be bound to meet zoning requirements a "Covenant to Bind Properties" form will be required. You will receive the form and instructions on how to fill out and file it, at your application appointment.
- G. SURVEYS:** If you have had a survey done on your property it is helpful to the application staff to have a copy of the recorded survey. Property boundaries are the sole responsibility of the owner. A corner lot survey may be required.
- H. EASEMENTS:** Provide recorded copies of all easements which are being used to provide access to your project and/or building site or are used by other people and cross your site.
- I. WATER VERIFICATION:** Verification of water will be required before issuance of any building permit that requires water verification per RCW 19.27.097. The applicant will be encouraged to acquire water verification before permit submittal to expedite the permit process. Water verification is not obtained from our Department, but from the appropriate jurisdiction (i.e.: County Health Dept., cities or water districts).

Permit submittal without water verification is at the applicant's own risk. Water approval is not always guaranteed. If the applicant is considering a private water source (i.e.: well), please be aware that installing a well can be a lengthy process. Wells have to be dug and the State Health Department must test the water before the County Health Department can give water approval. If the permit is submitted without water verification it will continue through the review process. At the time of final review, if water verification has not been received, the permit will be put on hold until water verification can be obtained. If water verification cannot be obtained, the permit will be cancelled and **the applicant will still be responsible for all permit fees incurred to process the permit.** Therefore, even though we will accept applications without water verification initially, we encourage applicants to acquire water verification prior to submittal of their permit application.

- J. SEPTIC:** If you have questions regarding your septic system, please contact the Environmental Health Department. A septic permit is required at the time of application.
- K. ENGINEERING:** Your plan may require structural engineering prepared by a WA State licensed Engineer. All documents including calculations and drawings must be stamped and signed by the engineer.
- L. DEMOLITION:** Demolition permits are required for all structures to be removed from a building site. Please see Counter Staff for more information.
- M. BUILDING PLANS:** Provide 2 complete sets of plans, which must be accurate, clear, and reproducible for microfiche. Refer to following page for a detailed list of requirements. Minimum paper size is 18" x 24" *. The cover sheet should include the following information: Owner's name; project address; tax parcel number; name and contact number of the designer. All drawings to include project name, date prepared/revised and sheet number (example – 1 of 5, 2 of 5, etc.). *Subject to approval 11" x 17" may be acceptable for small, detached accessory structures.*
- N. FIRE FLOW:** A Single Family Residence over 4000 square feet will require fire protection. Detached Garages or Outbuildings over 2500 square feet will require fire protection. Please contact the Fire Marshal's Office if you have any questions.
- O. CRITICAL AREAS:** May include those areas that have been determined by Whatcom County or approved private specialists to have special importance or sensitivity. These areas may consist of shorelines, wetlands, vegetation or soils associated with wetlands, steep slopes, unstable soils, creeks, habitat areas, sites of archaeological importance, ponds, and more.
- P. FILL & GRADE/CLEARING:** A Fill and Grade/Clearing application must be submitted prior to disturbing any land. A permit may be required depending on the scope of the project. If you wish to begin site work before your building permit is issued, please separate your Fill and Grade/Clearing application from the building permit at the time of or before your building permit submittal.
- Q. MORTGAGE LENDER:** A Bank, Credit Union, Trust Company, life insurance company, or private company that lends money on the security of land, houses, and real estate.
- R. PARCEL NUMBER:** The tax identification number, or geographic ID, assigned by the Whatcom County Assessor's office. Please note that a parcel number does not in all cases guarantee that a lot has been legally created. Talk to a County staff person prior to submittal to ensure that your lot is a lot of record.
- S. BUILDING CONTRACTOR:** Whatcom County will only authorize work if the legal owner of the property has signed an owner contractor statement of understanding or has hired a WA State licensed contractor.
- T. ACCESSORY DWELLING UNIT:** A separate complete residential unit designed for occupancy by a family. Accessory apartments and accessory dwelling units require Administrative Approval prior to permit submittal.
- U. SITE PLAN:** A plan, to scale, of the entire project site including all lot lines, critical areas, existing and proposed structures, septic systems, easements, driveways, and elevations.

SITE PLAN REQUIREMENTS

SITE PLAN DRAWINGS MUST MEET THE FOLLOWING CONDITIONS:

General Requirements:

1. All Site Plans (sometimes called a *Plot Plan*) shall be clearly and accurately drawn to scale on paper – minimum size is 8.5" x 11", maximum size is 11" x 17".
2. The Site Plan must be drawn to one of four standard scales:
 - a) 1" = 20'-0" or 1" = 30'-0" for parcels of less than one acre (44,560sf);
 - b) 1" = 40'-0" or 1" = 50'-0" for parcels between one and 2½ acres (111,400sf);
 - c) For parcels > 2½ acres or of an irregular shape where the above scales would exceed the size of an 11"x17" paper, site plan **overviews** at scales of up to 1" = 100'-0" are required along with an inset plan of the proposed structures and on-site sewage system (OSS) at one of the scales noted above. Refer to the attached **Site Plan example**.
3. Linework – Use "solid" lines for all improvements at grade. Use "dashed" or "broken" lines for all improvements below grade (septic systems) or above grade (roof lines).
4. Clearly differentiate on drawings between **existing** and **new** conditions or improvements. Use the abbreviation (E) to indicate existing.

All site plans shall clearly indicate the following applicable information. Each item, unless noted otherwise, is referenced on the enclosed Site Plan example:

General Property Information:

A. Title Block

- 1) Indicate the property owner's name, site address, tax parcel number (Assessor's Tax ID #), drawing title and date.
- 2) Indicate drawing scale, as noted in the General Requirements above, in the Title Block.
- 3) Show an arrow indicating the NORTH direction.

B. Property Lines

Show all property lines and dimensions of each.

C. Adjacent Roads and Right-of-Way

- 1) Show name of adjacent roads, centerline of road and width of the right-of-way.
- 2) Show all existing improvements within the right-of-way including driveways, drainage ditches, storm drain/culverts, fences, retaining walls, curbs, etc.

D. Easements

Indicate the location and dimensions of all easements in relation to property lines, structures and OSS components. Typical easements include those for utilities, access, drainage dike and railroads.

E. Driveway Encroachment

Indicate the location and dimensions of all connections between the adjacent public roads and private driveways or roads.

F. Site Topography and Storm/Surface Water Drainage Systems

- 1) Flat and gentle slope (elevation change) lots: Indicate general direction of water flow (using arrows) and approximate % of slope.

Note: Slope % = (rise or drop in height) divided by (horizontal run or distance) multiplied by 100.

- 2) Steeper slope lots (15% or > slope): Indicate the locations, direction and grades for all such slopes. Indicate location of natural drainage ditches and all cut banks that exceed 4' in height. Identify any erosion or landslide areas as well as any potential unstable slopes. For lots with slopes 25% or greater, provide contour lines at a minimum of 2' intervals.

G. Reference Elevations

Indicate the relative elevations of all property corners, wells, drainfields, drainage systems and building floors. Use an established reference point such as plumbing stub-out or first floor level as a reference point elevation. Use the following abbreviations: FF = finish floor, FG = finish grade.

H. Surface Waters *(not shown on Site Plan example)*

Indicate location of all surface water bodies including all marine waters, lakes and ponds, along with their associated shorelines, ordinary high-water lines and their required setbacks.

J. Critical Areas – Streams, Creeks and Wetlands

Indicate location of all surface water features such as streams, creeks and wetlands, along with their associated buffer areas and required setbacks.

K. Vicinity Map *(not shown on Site Plan example)*

A map clearly showing a detailed route to the site including the nearest intersections and landmarks must accompany all Site Plans. The map does not need to be to scale and may be a separate attachment.

Property Improvements: Existing and/or Proposed:

L. 1. Existing Structures and/or Building Envelopes

Show location of all existing structures and their setbacks from property lines and other structures. Identify each building by its use (residence, garage, storage, etc.).

L. 2. Proposed Structures and/or Building Envelopes

Indicate the location and clearing limits of all proposed structures including decks, porches and retaining walls. Identify each building by its use (residence, garage, storage, etc.). Indicate setback dimensions in relationship to property lines, other structures, easements, wells and OSS components. Building wall lines and roof overhang lines to be clearly marked to match floor plans.

M. Existing and Proposed Driveways, Parking Areas and Sidewalks

Indicate the location and dimensions of all driveways, parking areas, sidewalks and emergency vehicle turn-around areas.

N. Existing and Proposed Wells

Indicate the location of all wells and distances to adjacent structures and on-site sewage system components (OSS). Include any OSS components on adjacent properties within the 100' well radii.

O. Existing and Proposed On-Site Sewage System (OSS) Components

- 1) Indicate the location and dimensions of all OSS components including septic tanks, pump tanks, pretreatment units, transport lines and primary/reserve drainfields.

- 2) Indicate the direction and % of slope of all primary/reserve drainfield areas. Include at least two reference distances to property lines or other site features shown on the OSS permit site plan.

Q.

Existing and Proposed Water and Utility Lines

Show location of all water, sewer and utility lines.

R. Existing and Proposed Fuel Tanks

- 1) Show location and size of all heating fuel tanks (propane or other fuels).
- 2) Indicate all required setbacks from structures.
- 3) Note if tank is located below grade.

S. Existing and Proposed Buffers and Open Spaces (not shown on Site Plan example)

Indicate the location and dimensions of all existing buffers and open spaces in relation to property lines, structures and OSS components.

T. 1. Existing Impervious Surfaces (applicable only to projects located in a watershed)

Show all existing impervious surfaces and include dimensions. Such surfaces include all structures, covered decks, driveways and sidewalks including graveled surfaces.

T. 2. Proposed Impervious Surfaces (applicable only to projects located in a watershed)

Show all proposed impervious surfaces and include dimensions. Provide calculation summary on Site Plan or separate attachment. Refer to following example:

Impervious Surface Calculations

<u>Subject Area</u>	<u>Existing Area</u>	<u>Proposed Area</u>	<u>Subtotal Area</u>
House	2,000sf	500sf	2,500sf
Garage	800sf	-	800sf
Covered Porch	-	65sf	65sf
Driveway	555sf	-	555sf
Sidewalk	165sf	-(40)sf	125sf

Total area of impervious surfaces = 4,045sf

U. Erosion Control

Show location of erosion control measures.

V. Proposed Demolition

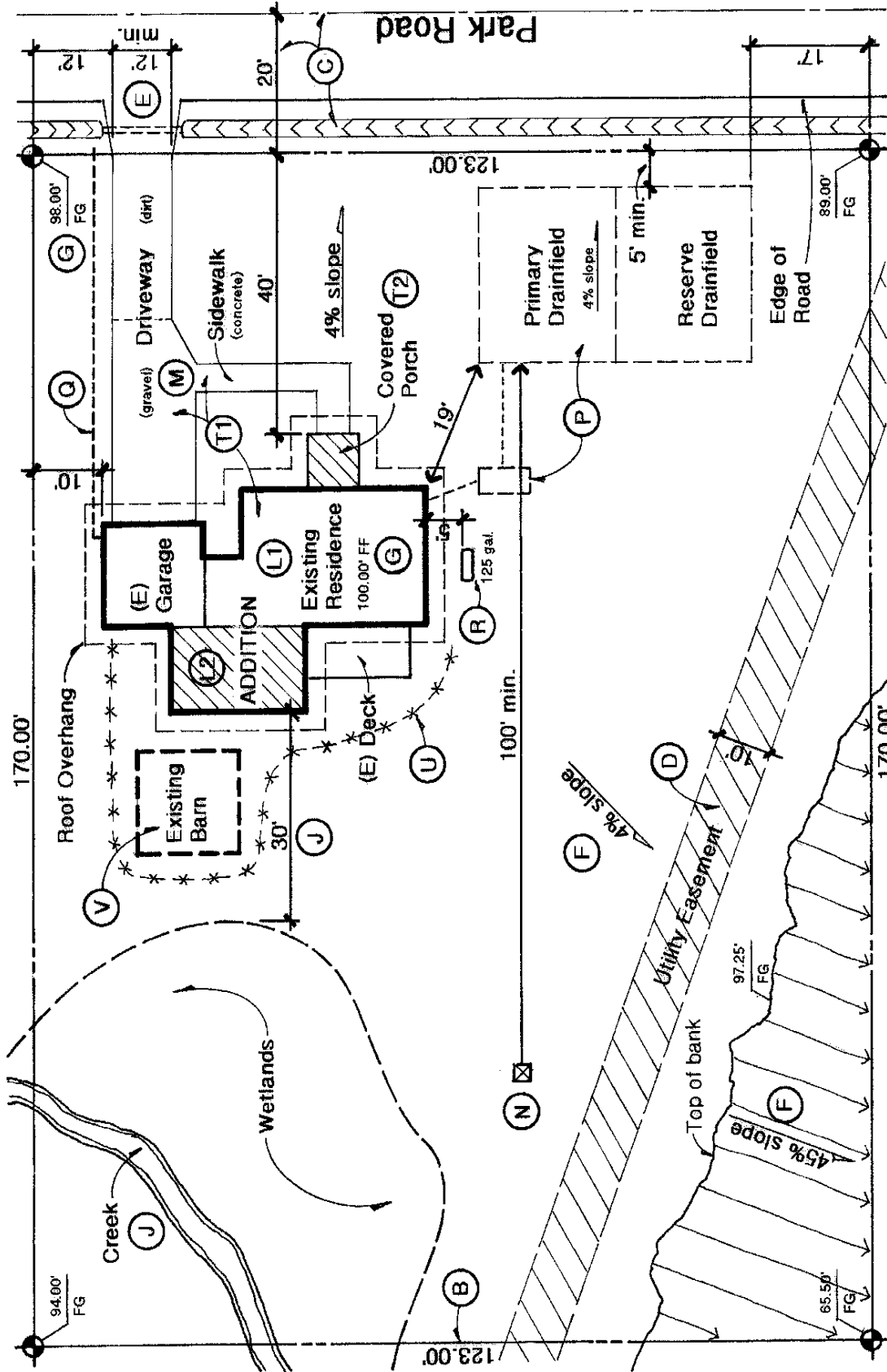
Show and label the use of any structures or other existing improvements to be demolished. Show as “dashed” lines per the Site Plan example.

Failure to clearly identify all required information will cause processing delays and/or result in returned applications.

Questions?

If you have any questions regarding these requirements, please contact Whatcom County Planning and Development Services – 360.676.6907 or Public Works Development Services – 360.676.6730.

SITE PLAN EXAMPLE



(A)

Owner's name: John R. Doe	Drawing title: SITE PLAN example	Scale: 1" = 20'-0"
Site address: 1203 Park Road	Parcel number: 380224-456098-0000	Date: 6/15/09

BUILDING PLANS

IRC Section R106 – All plan view drawings to be ¼" = 1' scale and fully dimensioned.
Details to be ½" = 1' scale min. For remodels and additions, clearly distinguish between new & existing.

- Exterior elevations** (¼" = 1' scale) including:
 - North, South, East and West (labeled).
 - All grades accurately shown (existing & finish).
 - Floor to ceiling heights and overall building height.
 - Shoreline properties need to show existing & proposed grade lines with grade elevations noted.

- Floor plans** for all levels (basements, storage and attics) including:
 - All spaces labeled by use (Living Room, Bedroom, Bath, Garage, etc.).
 - Unheated spaces clearly identified.
 - Label all door and window sizes include door swing and opening types for windows.
 - Stair detail showing rise & run, number of treads & risers and location of handrails & guardrails.
 - Location and fuel source for appliances & mechanical equipment
 - Smoke detector, exhaust fan locations.
 - Lateral bracing; Braced wall panels (BWP), Alternate braced wall panels (ABP), Alternate braced wall panels adjacent to openings (ABPO) clearly marked on the plans.

- Foundation plans** (IRC Chapter 4) per IRC and/or accepted Whatcom County practice including:
 - All pads and foundation dimensions, perimeter and interior.
 - Girders, posts, strip footings or slab.
 - Ventilation and access (IRC Section R408).
 - Slab insulation location and type.
 - Retaining walls – location, type and height.

- Floor Framing plans** (IRC Chapter 5) including:
 - Show & label members (joists, beams, etc.) Specify size, grade, species, type (GLB, TJI etc.)
 - Include framing for decks, covered porches, porches, trellis's and stairs.

- Roof Framing plan** (IRC Chapter 8) including:
 - Show & label members (rafter, ridge, etc.) Specify size, grade, species, type (GLB, TJI etc.).
 - Show and label all supporting members (beams, columns, headers etc.)
 - Provide section view of roof system to show collar ties, ceiling joists, etc.
 - Attic spaces – ventilation and access (IRC Section R806 & R807).
 - Engineered Trusses – provide truss lay-out with reactions from truss manufacturer.

- Cross Sections** (Building Sections) ¼' scale showing:
 - Typical room configuration (flat or sloping ceiling).
 - General foundation, floor & roof framing.

- Typical Wall Section(s)** at 3/8" = 1'-0" scale min. including:
 - Foundation, floor, wall and roof construction.
 - Frost depth (minimum 18").
 - Insulation – walls, floors, ceiling, & slab (WSEC).
 - Typical construction details (IRC Chapters 3 thru 9).
 - Floor, roof and ledger connections.

- Details** – for simple projects, the Wall Section showing all details may be acceptable.
 - Foundation and/or retaining walls with dimensions, reinforcement steel shown & noted (IRC Chapter 4).
 - Overhangs, cantilevers, off-set shear walls cantilevered roof sections, etc.
 - Special framing details and connections.

- Engineering** (if applicable):
 - Engineering outcome must be transferred to plans. Calculations shall be stamped & signed by the engineer.
 - Soils/geotechnical report per IRC Section R401.4 (if applicable).

NOTICE TO ALL RESIDENTIAL PERMIT APPLICANTS

(Applies to single-family, duplex and townhouse residences)

2009 WA State Energy Code Effective as of Jan. 1, 2011

Whatcom County Plan Review Changes for the 2009 WA State Energy Code:

Whatcom County has adopted the 2009 WA State Energy Code (WSEC). A summary of the changes applicable to single-family, duplex and townhouse residences is on the back side of this sheet. The goal for the code changes is an 8% improvement in energy efficiency and energy savings.

As a result of the new code, Building Services has changed submittal requirements for residential projects. The Whatcom County *2006 WSEC Prescriptive Compliance Form* will no longer be accepted. All applicants must now submit the 2009 Prescriptive Worksheet forms. These are available on-line from the WA State University (WSU) Extension Energy Program as noted below. Multi-family residential will now be reviewed under chapters 11 through 20 of the WSEC known as the Non-residential Energy Code (NREC). Refer to a separate handout for those projects.

2009 Submittal Requirements for Single-family, Duplex and Townhouse Residences:

All applicants must submit 2 (two) complete copies of the 2009 WSU electronic Excel forms. There are 3 (three) different worksheets included in this set of forms. Submittals should include 4 (four) pages total.

- *General Compliance Worksheet*

Documents the prescriptive glazing option chosen – 13%, 25% or unlimited – and which energy credits will be utilized. Refer to the summary of 2009 WSEC residential changes for additional information about energy credits (*submit page 1*).

- *Glazing Schedule Worksheet*

Used to determine which of the above glazing options will apply to the proposed residence. From this, the required insulation is determined as are door and window u- values. It's similar to the 2006 Whatcom County worksheet (*submit pages 1 & 2*).

- *Heat Sizing Worksheet*

The code requires heating and cooling sizing calculations for all projects. This worksheet will provide the heat sizing calculations to determine the size of the most efficient heating equipment for a residence. Alternate means of heating sizing calculations, such as an ACCA Manual J (or equivalent), are also acceptable. If the proposed residence will be air conditioned the *Heat Sizing Worksheet cannot* be used (*submit page 1*).

All forms are available in a fillable format on the WSU website – www.energy.wsu.edu. The direct link to the form is <http://www.energy.wsu.edu/BuildingEfficiency/EnergyCode.aspx>. A copy of the form is available for viewing at the Building Services counter. Incomplete forms will not be accepted nor will the previous 2006 Whatcom County form. Copies of the 2009 WSEC itself are available from WSU's website or from the State Building Code Council (SBCC) at their website – www.ga.wa.gov/sbcc.

What if I cannot complete the forms?

Building Services staff are available for questions regarding the new energy code forms. However staff will no longer be available to complete the forms for applicants. Assistance is also available from WSU at their Olympia office by phone 360.956.2042 or email - info@energy.wsu.edu. Local designers, general contractors and HVAC contractors may also be a source of assistance.

Summary of Changes to the 2009 Residential WSEC:

- A certificate of energy features of the residence is required to be posted.
- All new residences are required to earn a total of 1.00 energy credits.
Energy credits are achieved through the use of higher efficiency HVAC equipment; higher efficiency water heating equipment; higher efficient building envelopes; additional air leakage control and more efficient ventilation; or the use of renewable electric energy. The value for each credit varies from .50 to 2.00. The size of a residence also affects these credits. If the proposed residence is less than 1,500sf, that alone is worth 1.00 credit. If the size exceeds 4,000sf, 1.00 credit is lost and a total of 2.00 energy credits are then required.
- Conditioned and unvented attics are allowed under certain conditions.
- Building air leakage testing is required with a 'blower door test'.
- Programmable thermostats are required on all primary heating systems.
- Ducts located in ceiling and floor space cannot displace required insulation levels.
- Building cavities cannot be used as ducts.
- Duct testing required for all new HVAC systems with ducts located in unconditioned spaces. Not required if the ducts are contained within the conditioned space.
- Duct testing of existing ducts required when a furnace (FAU) replaced. If the ducts do not pass the test, the decision to repair and seal the ducts is up to the homeowner.
- Residences must have 50% high efficacy luminaries (light fixtures).
- Multi-family residential projects are now under the NREC.

A more complete list of changes is available on WSU's Extension Energy Program website.

Why the change from 2006 submittal requirements?

In order to determine the most efficient heating equipment size, the 2006 code required design heat load calculations for all buildings. The WSU Extension Energy Program developed electronic forms, similar to the 2009 forms, for applicants to submit for residential building permits.

In 2006, in an effort to assist the typical residential applicant, Building Services staff analyzed a multitude of typical residential plans. It was then determined, for homes less than 4,000sf, the heated floor area could be multiplied by a numerical factor to determine heating equipment size. Applicants then had the option of submitting a WSEC form developed by Whatcom County or the WSU forms. Residences greater than 4,000sf were required to submit the WSU forms or other approved methods of heating and cooling calculations.

Under the 2009 WSEC, design heat load calculations are also required for all buildings. Again Building Services staff analyzed many typical residential plans. However this time, the results were not consistent enough to warrant the use a predetermined numerical factor. Therefore the 2006 Whatcom County forms will no longer be accepted.

Why was the energy code changed?

According to the EPA, buildings account for 39% of total energy usage. WA State law requires a 70% improvement in the energy efficiency of our buildings by 2031. The baseline code is the 2006 WSEC. Based on 3-year code cycle changes, counting the 2009 changes, there will be eight code changes between now and 2031. Thus the changes within the 2009 version achieve an approximate 8% increase in efficiency. Prior to legislative changes to the 2009 code, a 15% improvement would have been achieved.

More questions about the new energy code?

Do not hesitate to contact Building Services by phone 676.6907 and ask to speak with a plans examiner. The following plans examiners can also be reached by email:

- Curtis Metz – cmetz@co.whatcom.wa.us
- Larry Kwiatkowski – lkwiatko@co.whatcom.wa.us

INSPECTION REQUIREMENTS

There is a 180 day period in which to start construction. A start constitutes a poured foundation or equal.

It is your responsibility to make sure the permit does not expire. Failure to commence the project or abandonment of construction for 180 days results in expiration of the permit.

Continued construction activity must be verified through regular inspections. If a special inspection is required to verify continued construction activity, a \$100.00 fee is required to be paid in advance of the inspection.

Post your **INSPECTION RECORD** (in its blue plastic baggie) in a conspicuous place when construction begins and leave it posted until all inspections have been satisfied. That inspection record is your proof that the required inspections have been done and it should be saved along with all the other important paperwork concerning the project.

Post the job address at the road so that the site can be found easily by the inspectors.

You are required to arrange for inspections in the following manner:

- 1) Call at least 24 hours in advance of needed inspections. Inspection request phone number is 738-2520. Point Roberts inspections are done on Tuesday. Lummi Island inspections are done on Wednesday only. Glacier area inspections are done on Monday & Wednesday.
- 2) When calling for inspections or inquiring about specific code requirements, *always* make reference to your **SITE ADDRESS & PERMIT NUMBER**. If you do not include this information you may not receive your desired inspection.
- 3) Approved plans must be available on the building site when the inspector makes all inspections.
NO WORK SHALL BE COVERED UNTIL REQUIRED INSPECTIONS ARE COMPLETED
- 4) Refer to the specific inspection you are calling for. Required inspections are as follows:
 - a) Erosion and Sediment Control: Projects in Water Resource Special Management Areas require ESC sign off at the time clearing activity occurs. Foundation inspection will be denied until ESC is approved.
 - b) Foundation Inspection: To be made after building location and setbacks are identified, excavation or trenching is complete, concrete forms or concrete masonry units (CMU) and reinforcing steel is in place, and all foundation vents and block-outs are placed, prior to concrete or grout placement.
 - c) Slab Insulation/Under-Slab Plumbing: To be made after slab insulation and all under-slab plumbing or radiant heat coils are installed, prior to concrete placement.
 - d) Framing: To be made after structure is enclosed, all roof, wall, and floor framing are installed (and visible), and fireblocking and bracing are in place. Shear wall nailing and roof or wall sheathing inspections may be required, as identified on the plans. (Special inspections/structural observations may be required on complex structures.)
 - e) Rough Plumbing & Mechanical: To be made at the same time as the Framing inspection, when all DWV and water piping, mechanical ducts, gas piping (pressure test to 12 psi), and chimneys are installed.
 - f) Insulation: To be made when all insulation is placed, prior to cover. Certification of insulation by a licensed installer may be accepted in lieu of inspection, when approved by the Building Inspector.
 - g) Electrical: Evidence of rough electrical inspection approval from Labor & Industries is required prior to cover. For Electrical permit requirements, contact L&I @ 647-7300.
 - h) Gypsum Wallboard/Lath: When required by the Building Dept., usually in connection with engineered shear walls or diaphragms. To be made after all lath or gypsum wallboard is installed, before wallboard joints and fasteners are taped and covered.
 - i) FINAL: To be made when building is completed and is ready for occupancy. All previously required inspections must be completed prior to requesting a Final inspection.

In addition to the above standard inspections, the applicant is encouraged to call the Building Services Division whenever a complication arises or whenever any alterations are made to the submitted plans.

PURSUANT TO THE CURRENT INTERNATIONAL RESIDENTIAL CODE, INSPECTIONS ARE MANDATORY



WHATCOM COUNTY FIRE MARSHAL'S OFFICE
FIRE APPARATUS ACCESS ROAD REQUIREMENTS

Any portion of a fire apparatus access road or driveway at **12% grade or greater** is required to have a hard surface, i.e. asphalt or concrete, per the Whatcom County Fire Marshal. An automatic sprinkler system, which meets the requirement of NFPA 13D and includes a fire department connection located within a fire department staging area, shall be provided for all buildings. The automatic sprinkler system(s) shall be monitored.

Any portion of a fire apparatus access road or driveway at **15% grade or greater** is required to have a hard, grooved surface of Portland cement, per the Whatcom County Development Standards (Chapter 5, Road Standards, Section 505, Table 1 and Table 2, Footnote 3). An automatic sprinkler system, which meets the requirement of NFPA 13D and includes a fire department connection located within a fire department staging area, shall be provided for all buildings. The automatic sprinkler system(s) shall be monitored. All sections of the fire apparatus access road or driveway over 15% grade shall be provided with an approved form of heat or melt system.

The Fire Marshal has the discretion to withhold approval of access roads or driveways for any site specific conditions that make passage of fire apparatus and emergency response vehicles impractical, difficult and/or hazardous.

Planning & Development Services Contact List

360-676-6907

The Front Counter is open from 8:30 a.m. To 4:30 p.m.
The Subdivision Counter is open from 8:30 a.m. To 12:00 Noon

Administration

PDS Director – J.E. “Sam” Ryan
Code Compliance

Current Planning Division

SEPA
PUD’s / Long Plats / Binding Site Plans
Zoning Variances / Conditional Uses
Administrative Approvals, Lot Consolidation Relief & Non-Conforming Use
Short Plats / Exemptions / Agriculture Divisions

Natural Resources Division

Land Disturbance / Fill & Grade
Critical Areas
Watersheds / Erosion Control
Shorelines Variances & Conditional Use Permits
Geology, Slopes

Permit Center & Building Services Division

Permit Coordinator / Flood
Residential Zoning Information
Commercial Zoning & Permits / Landscaping & Parking
Plans Examiners
Building Inspectors
Fire Marshal
Fire, Life/Safety & Roads Inspector
Burn Permits, Burn ban/Burn Permit info
Manufactured Home Title Elimination
Code Compliance
Field Inspections - 24 Hour Inspection Line - 738-2520

Code Compliance – Building & Land Use Code Enforcement

ADDITIONAL CONTACTS

Public Works - Engineering Division – 676-6730

Revocable Encroachment Permits/Culverts
Address Assignments
Surveys, Plat Maps, Easements

Public Works - River & Flood – 676-6876

Flood Questions/Determinations

Environmental Health – 676-6724

Wells / Water Systems
Septic / Sewer Systems
Food Service
Schools

Assessor’s Office – 676-6790

Northwest Clean Air Authority (NWCAA) Asbestos abatement, burn ban/permit info - **1-800-622-4627**

Utility Locators (call before you dig) - 1-800-424-5555

WA State Dept. of Labor & Industries (L&I)

Electrical - 647-7300
Mobile Homes (alterations/woodstoves) - 647-7316
Contractor’s Registration 1-800-647-0982

SNOW LOAD REVISION

Whatcom County	Approx. Average Elevation	Revised Ground Snow Load	Revised Roof Snow Load
Acme	310	22	25
Bellingham	100	15	25
Blaine	45	16	25
Deming	210	24	25
Diablo	910	100	100
Ferndale	60	20	25
Glacier	900	74	74
Lawrence	145	24	25
Lynden	103	24	25
Maple Falls	643	77	77
Mt. Baker Ski Area	4200	588	588
Newhalem	510	129	129
Nooksack	84	24	25
Sumas	36	24	25
Wickersham	310	28	28
Kendall	460		50
Paradise	460		50
Pt. Roberts	120		25

Essential facilities, Group A and other applicable occupancies, will require engineering.

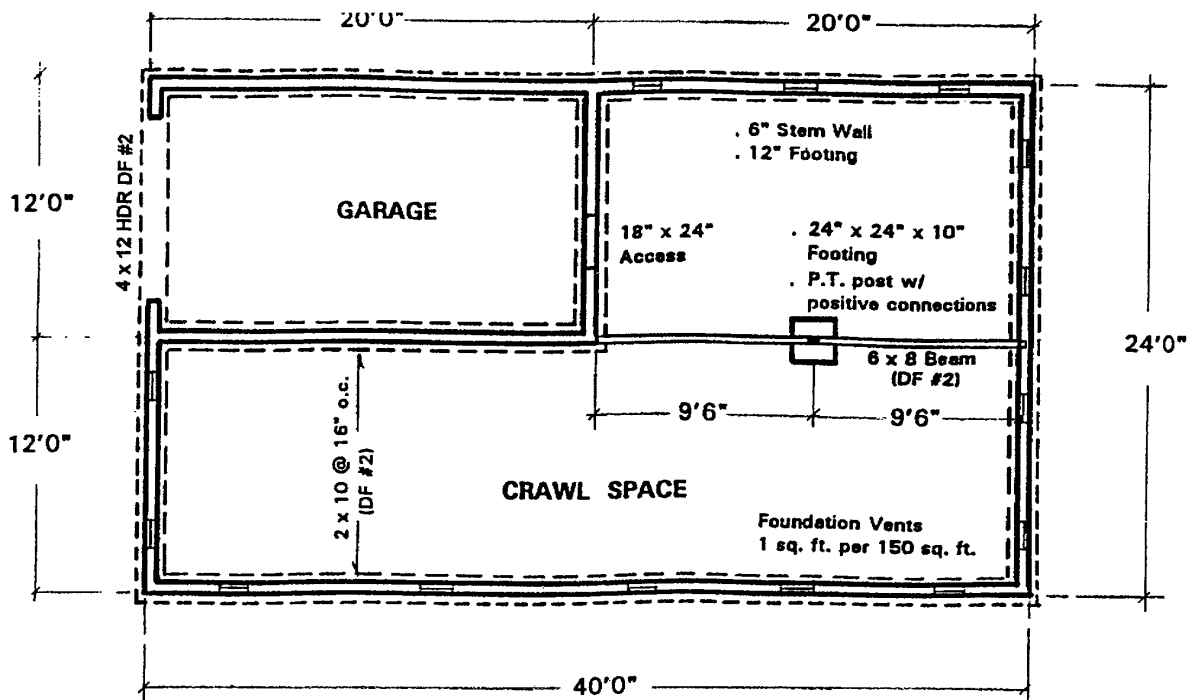
Any proposal can challenge the above design load with engineer or architect stamped and signed calculations and criteria.

Buildings where the roof snow load exceeds 70 PSF will require engineering.

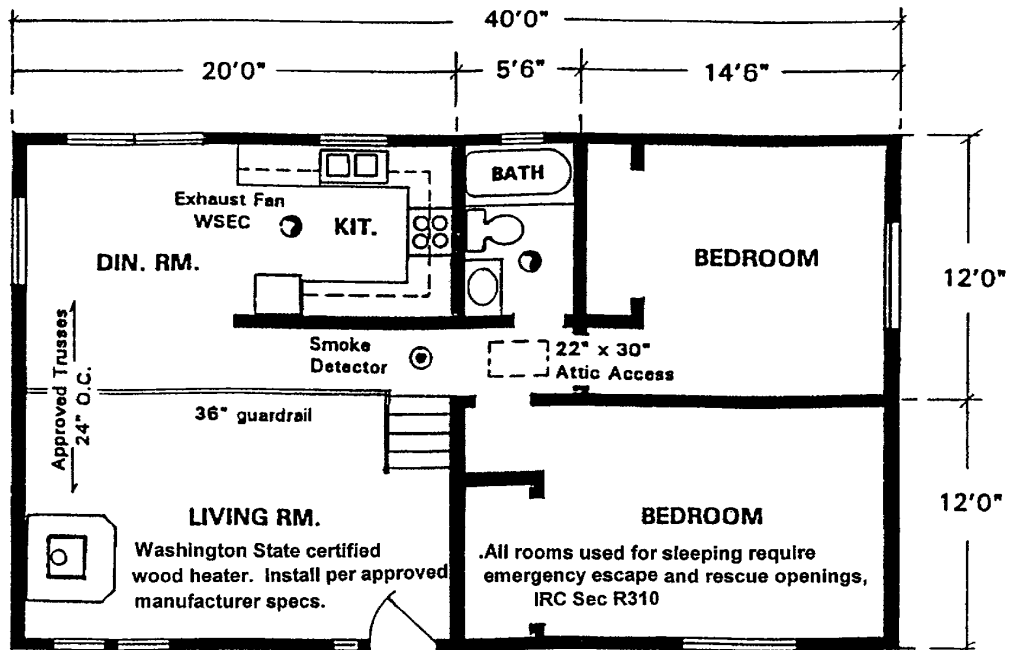
Recommendations are valid for the recognized central area of each regional designation. Building Services reserves the right to adjust the roof snow load based on building location and/or criteria per the currently adopted version of the IBC and/or the Snow Load Analysis for Washington.

Seismic Design Category D1.

Basic wind speed – 85 MPH (verify exposure rating with Building Services Division.) Tax Parcel Number required.

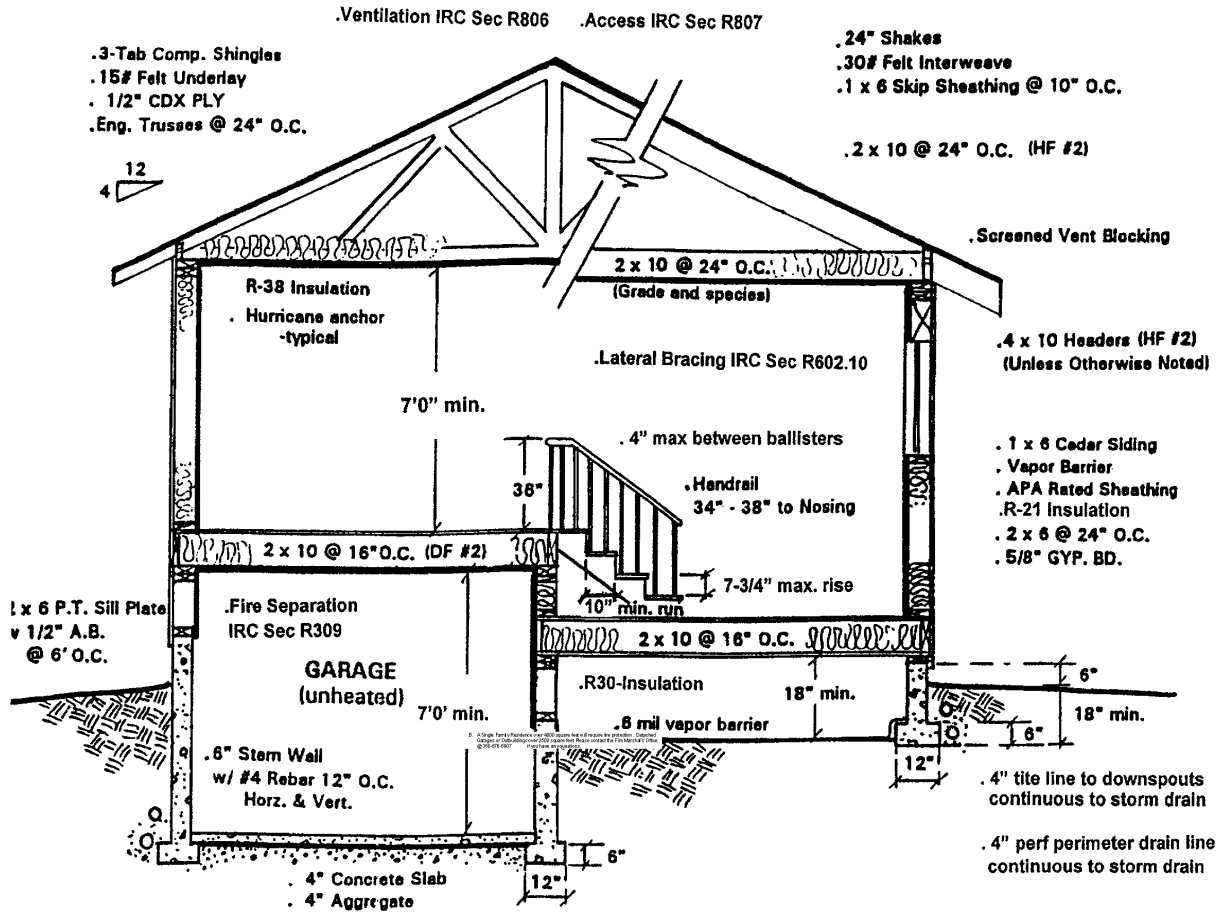


TYPICAL FOUNDATION PLAN *
Scale 1/4" = 1'0"

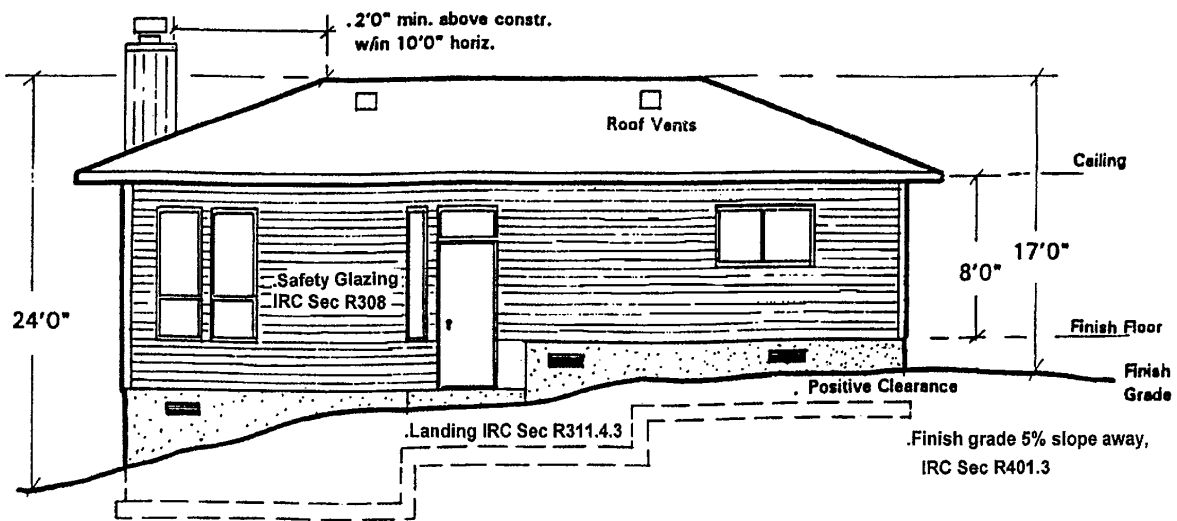


TYPICAL FLOOR PLAN *
Scale 1/4" = 1'0"

* These illustrations only provide examples of format to be used when applying for building permit(s) and are not complete.



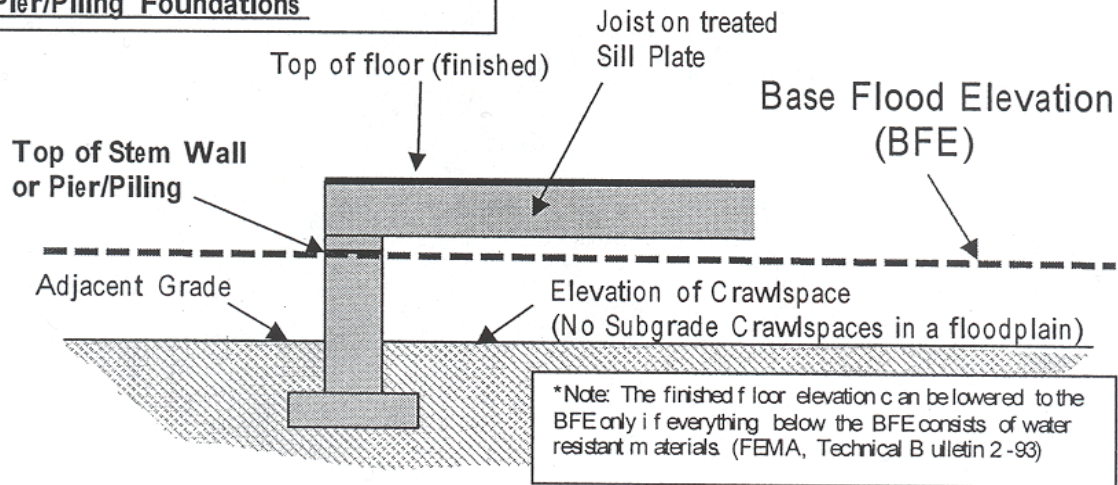
TYPICAL CROSS SECTION *
Scale 1/2" = 1'0"



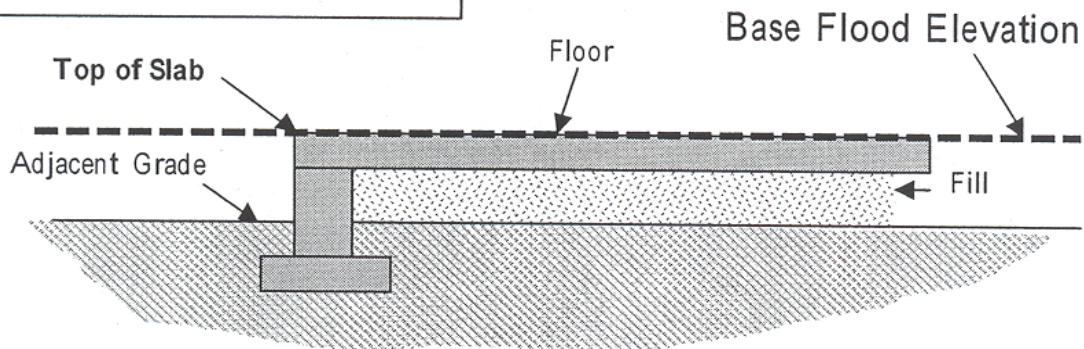
TYPICAL ELEVATION *
Scale 1/4" = 1'0"

BUILDING IN A FLOODPLAIN 7/7/06

Continuous Spread Footing and/or Pier/Piling Foundations



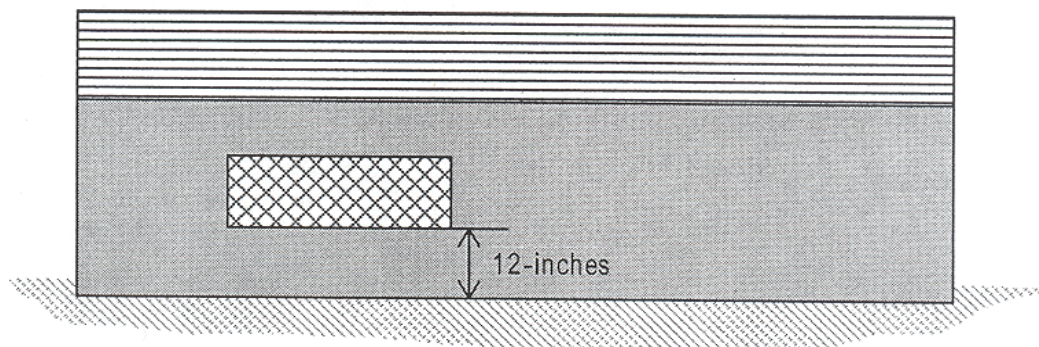
Slab Foundations



Flood Vents

*Requirements (FEMA, Technical Bulletin 1-93):

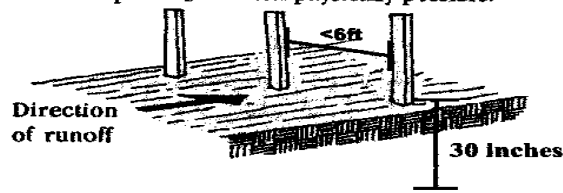
1. Must be a minimum of two openings on different sides of each enclosed area.
2. Total area of all openings must be at least 1 square inch for each 1 square foot of enclosed area.
3. The bottom of each opening can be no more than 1 foot above the adjacent grade.
4. Any louvers, screens, or other opening covers must not block or impede the automatic flow of floodwaters into and out of the enclosed area.



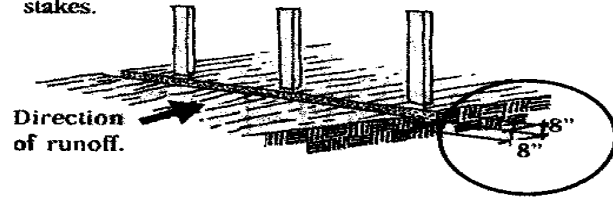
For questions on development in a **floodplain**, please contact the Whatcom County River and Flood Division at 360-676-6876. We are located at 322 N. Commercial Street.

INSTALLING AND USING SILT FENCING

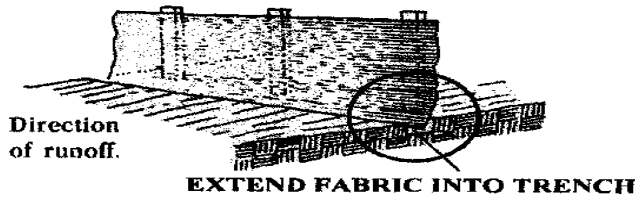
1) Set the stakes a maximum of 6' apart and at a depth of 30" when physically possible.



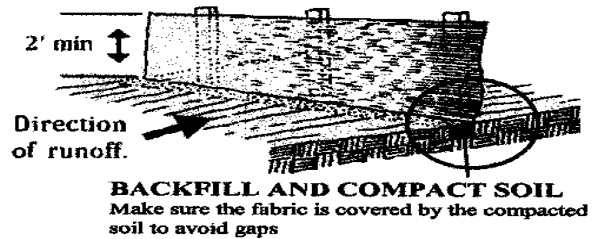
2) Excavate a 8" x 8" trench upslope along the line of stakes.



3) If the filter fabric did not come attached to the posts, staple the filter material to the posts. Extend the fabric into the trench.



4) Backfill and compact the excavated soil.



Limitations:

- Requires specific standards for effective use (i.e. barriers are defined by slope gradient and areas being drained).
- Not for use in streams or v-shaped ditches.

Maintenance Requirements:

- Inspect fences regularly for signs of damage or deterioration and repair immediately.
- Remove sediment before it reaches 6 inches in height.

USING MULCHES AT CONSTRUCTION SITES

Mulch Material	Application Rates	Things to Consider
Straw	<ul style="list-style-type: none"> ▪ 2" – 3" thick ▪ 5 bales/1000 sf or 2-3 tones/acres 	<ul style="list-style-type: none"> ▪ Crimp straw to avoid wind blow. Crimping involves punching the straw into the soil with a dull shovel. ▪ Thickness may be reduced when used with seeding.
Hydromulch	<ul style="list-style-type: none"> ▪ 25-30 lbs/1000sf or 1500-2000 lbs/acres 	<ul style="list-style-type: none"> ▪ Apply with hydromulcher ▪ Do not use without seed and tackifier unless the application rate is at least doubled.
Chipped Site Vegetation	<ul style="list-style-type: none"> ▪ 2" minimum thickness 	<ul style="list-style-type: none"> ▪ In general, not for use on slopes greater than 10%. ▪ Not recommended within 200 feet of surface waters.
Wood-based ("Hog Fuel")	<ul style="list-style-type: none"> ▪ 2" thickness ▪ 100 tons/acre 	<ul style="list-style-type: none"> ▪ Inclusion of weed plants or seeds should be monitored and prevented or minimized.

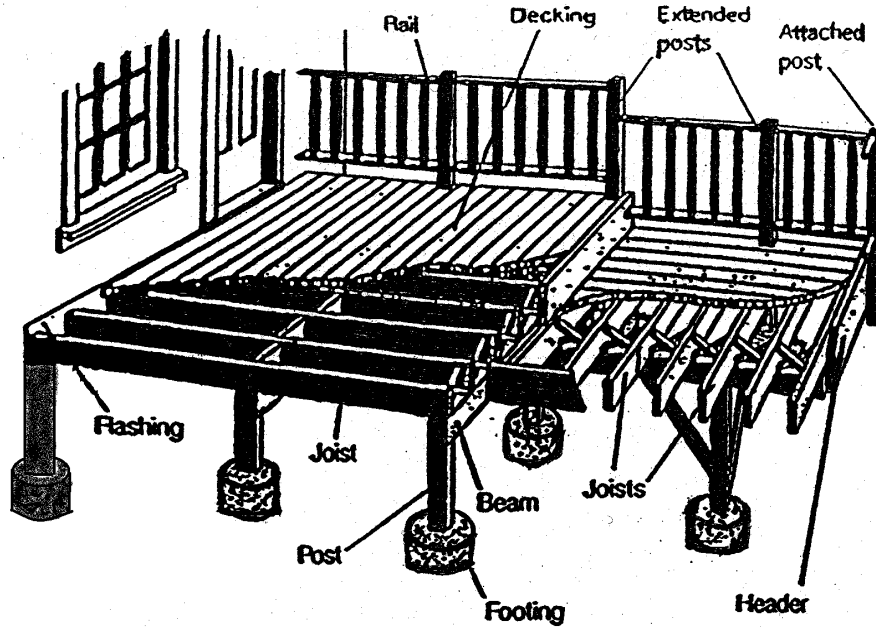
Limitations:

- Should be used in conjunction with other best management practices.
- Intended as a temporary measure for soil stabilization and/or while temporary or permanent vegetative cover is established.

Maintenance Requirements:

- Inspect mulched areas within 24 hours after each rainfall or period of heavy winds or daily during periods of prolonged rainfall.
- Additional mulching material should be applied immediately when thickness of the cover has been reduced and/or erosion occurs.
- Continue inspections until vegetative cover has been established.

Typical Elements of Deck Framing



*All footings shall bear on undisturbed soil and be a minimum of 18" below grade.

Landings

There shall be a floor or landing on each side of all doors. The floor or landing shall be level with or not more than 1 inch lower than the top of the threshold. However, in private dwellings a door may open on the top of a flight of stairs or an exterior landing, provided the door does not swing over the top step or exterior landing (except that screen doors may) and the landing is not more than 73/4" below the floor level. Where a door opens over a landing, the landing shall have a length not less than the door width. Exterior landings may slope not to exceed 1/4" per foot.

Exterior Decks & Porches

Approved wood of natural resistance to decay or treated wood shall be used for those portions of wood members which form the structural support of buildings, balconies, porches, stairs or similar permanent building components when such members are exposed to the weather without adequate protection from a roof, eave, overhang, or cover. Galvanized fasteners are required in weather exposed areas. See IRC Section R319.3. Girders or beams and joists shall be sized in accordance with IRC Chapter 5 or shall be designed to resist the forces specified in IBC Chapter 16.

Guardrails

All open and glazed sides of landings, decks, and porches which are more than 30 inches above grade or floor below, shall have a guardrail not less than 36 inches in height. Open guardrails and stair railings shall have intermediate rails or an ornamental pattern such that a sphere 4 inches in diameter cannot pass through and shall be able to withstand 50 lbs. per square foot over the entire area, per IBC Section 1607.7. The triangular openings formed by the risers, tread and bottom element of a guardrail at the open side of a stairway may be of such size that a 6 inch sphere cannot pass through.

Positive Connections

Where post and beam and/or girder construction is used, a positive connection shall be provided to insure against uplift and lateral displacement.

WHATCOM COUNTY
 Planning & Development Services
 5280 Northwest Drive,
 Bellingham, WA 98226-9097
 360-676-6907, TTY 800-833-6384
 360-738-2525 Fax



J.E. "Sam" Ryan
 Director

Residential Building Permit Application
One Structure per Permit

Print in Blue or Black Ink

Permit #

Applicant / Contact Name: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Phone #: _____ E-Mail: _____

Property Owner's Name: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Phone #: _____ E-Mail: _____

Contractor Name: _____ **Contractor's Business Name:** _____

Mailing Address: _____ **License #:** _____

City: _____ State: _____ Zip Code: _____

Phone #: _____ E-Mail: _____

Mortgage Lender _____

Site Information _____ Subdivision Name: _____

Parcel #: _____ Division # _____ Block # _____ Lot # _____

Site Address: _____

Number of Buildings currently on site: _____ Valuation (cost of completed project less value of land) \$ _____

Project Description (example: New SFR w/att Garage – 3 bdrm, 2 bath)

New Addition Remodel Repair

Single-Family Residence Garage Shop Carport Retaining Wall

Deck Barn Pool Dock Other: _____

Please Check Applicable Water & Sanitary Services:

Water: Well Water Assoc. Water District

Name of Water Purveyor (if applicable): _____

Septic: Yes No / Septic Installed: Yes No

Sewer: Yes No

Name of Sewer Purveyor (if applicable):

Proposed Square Footages for this project (measured to outside wall):

Basement	sq.ft.	Carport	sq.ft.
Main Floor	sq.ft.	Covered Deck/Porch	sq.ft.
Second Floor	sq.ft.	Deck/Porch	sq.ft.
Garage	sq.ft.	Other:	sq.ft.
Basement Type: <input type="checkbox"/> Heated <input type="checkbox"/> Unheated		Total Square Feet	sq.ft.

Heat Source (Check the primary fuel source for Heat / Hot Water)

Heating: Natural Gas Propane Electric Oil geothermal Other

Hot Water: Natural Gas Propane Electric Oil geothermal Other

OFFICE USE ONLY

Check All That Apply

- Site Plan, to scale: three (3) Copies – including watersheds and critical areas
- Structural Drawings, complete, to scale, two (2) copies
- Septic permit / sewer verification
- Completed water verification form
- Land disturbance / fill & grade permit (*if already applied for*) Permit # _____
- Lot of Record Determination / Deed
- WA State Energy Code compliance form
- Encroachment Permit – Permit # _____
- Residential structure is over 4000 square feet **or** detached structure is over 2500 square feet.
- Existing structures to be removed (*Please show all existing & proposed structures on your site plan*)
- Site flagged - clearing limits, boundaries, wetlands, etc. marked
- Authorization from property owner to construct on private property

Disclaimer

The permittee verifies, acknowledges and agrees by their signature that:

- 1) If this permit is for installation of a dwelling, the dwelling is/will be served by potable water;
- 2) The property owner is the owner of this Whatcom County Permit;
- 3) The signatory is the property owner or someone who has permission to represent the property owner in this transaction;
- 4) All construction is to be done in accordance with Whatcom County codes or ordinances- *referenced codes and ordinances are available for review at the Whatcom County Permit Center*;
- 5) This Whatcom County Permit does not permit or approve any violation of federal, state or local laws, codes or ordinances;
- 6) Submission of plans or additional information and subsequent approval may be required before this application can be processed.
- 7) Notwithstanding that this application has been submitted in the name of a company, I personally guarantee payment of the fees accrued according to the terms listed in the Whatcom County Unified Fee Schedule and agree to be bound personally as a principal and not as a surety. I recognize that my personal guarantee is part of the consideration for review of the application.

Print Name

Signature

Date